

CITY OF WESTMINSTER			
PLANNING APPLICATIONS COMMITTEE	Date 24 November 2015	Classification For General Release	
Report of Director of Planning		Wards involved Abbey Road	
Subject of Report	84 Clifton Hill, London, NW8 0JT		
Proposal	Alterations to the existing garden studio including excavation of a new basement level with associated lightwell, revised footprint and new fenestration and excavation of a staircase under the main building with a glazed bridge.		
Agent	Hogarth Architects		
On behalf of	Mr Suhrud Mehta		
Registered Number	15/04945/FULL 15/04946/LBC	TP / PP No	TP/4376
Date of Application	03.06.2015	Date amended/ completed	23.06.2015
Category of Application	Other		
Historic Building Grade	Grade II Listed Building		
Conservation Area	St John's Wood		
Development Plan Context - London Plan July 2011 - Westminster's City Plan: Strategic Policies 2013 - Unitary Development Plan (UDP) January 2007	Outside London Plan Central Activities Zone Outside Central Activities Zone		
Stress Area	Outside Stress Area		
Current Licensing Position	Not Applicable		

1. RECOMMENDATION

1. Grant conditional permission and conditional listed building consent.
2. Agree the reasons for granting listed building consent as set out in Informative 1 of the draft decision letter.



9 Sep 2015 09:15:18



84 CLIFTON HILL, NW8

2. SUMMARY

The application site comprises a Grade II listed semi-detached villa with a studio building in the rear garden located in the St John's Wood Conservation Area. Approval has already been given in March 2013 for the excavation of a basement area under part of the rear garden which links the main house with the studio and subsequently in October 2014 for a much larger basement under the studio to create 41m² of additional floorspace, create a lightwell at the side of the studio building and for external alterations. Planning permission and listed building consent are now sought in respect of alterations to the existing garden studio including excavation of a new basement level with associated lightwell, revised footprint and new fenestration and excavation of a staircase under the main building with a glazed bridge. Objections have been received from the St John's Wood Society and four neighbouring occupiers.

The key issues in this case are:

- The impact of the proposed development on the character, appearance and special interest of this Grade II listed building and the St John's Wood Conservation Area;
- The impact of the proposal on the amenity of neighbouring residents;
- The impact of the excavation works on adjoining trees.

The proposal is considered to be acceptable in both design and amenity terms as well as in respect of its impact on trees in accordance with the relevant policies in the Unitary Development Plan (UDP) and Westminster's City Plan: Strategic Policies (the City Plan). It is therefore recommended for approval.

3. CONSULTATIONS

HISTORIC ENGLAND

No objection.

THAMES WATER

No objections raised. Informatives provided.

ENVIRONMENT AGENCY

No comments are made in respect of this application.

ST JOHN'S WOOD SOCIETY

The St John's Wood Society does not object to the replacement of the existing garden studio. However, we object to the glazed bridge to the studio as this structure would result in the studio reading as a large extension to the main building which would have a harmful impact on the character and setting of this Grade II listed building. We request that the hard landscaping is further reduced in size to allow for the planting of a garden which would be more fitting in this setting. We query if it is possible to properly maintain the proposed green roof. We request that the impact on neighbours is carefully assessed especially in terms of light pollution.

HIGHWAYS PLANNING MANAGER

No objection.

ENVIRONMENTAL HEALTH

Any response to be reported verbally.

ARBORICULTURAL MANAGER

No objections subject to an updated tree report.

BUILDING CONTROL

The structural method statement is considered to be acceptable. An investigation of existing structures and geology has been undertaken and found to be of sufficient detail. The existence of groundwater, including underground rivers, has been researched and the likelihood of local flooding or adverse effects on the water table has been found to be negligible. The basement is to be constructed using piled walls with internal RC retaining walls which is considered to be appropriate for this site. The proposals to safeguard adjacent properties during construction are considered to be acceptable.

ADJOINING OWNERS/OCCUPIERS AND OTHER REPRESENTATIONS

No. Consulted: 54; Total No. of Replies: 4

The following concerns were raised:

Design

- The building, including the studio, is Grade II listed and in the important St John's Wood Conservation Area and should therefore be protected;
- The proposal will destroy a beautiful Grade II listed building and is out of keeping with the character and appearance of the conservation area;
- The link would be harmful to the setting of the main house;
- The studio should not be allowed to be an extension to the main building;
- The works set a bad precedent for the street, are unwarranted and unnecessary.

Structural Issues

- Increased risk of subsidence to neighbouring properties as well as subject property.

Increasingly harmful applications

- What was originally a particularly odd request to link the two buildings by a small underground corridor (the owner apparently unwilling to walk the 10 paces above ground between the two buildings) has now become a request for full scale invasive underground works to an architecturally important building in the St John's Wood Conservation Area;
- Each successive application has asked for more and more extensive and invasive works and the series of applications evidence what I would call "creeping" planning. More and more is being asked in each application. The applicant's tactic has been to ask the Council to agree to invasive works in stages, as opposed to in one application, in the hope that a gradual series of applications will mask the fact that the end result of what is being proposed is in fact very serious and invasive excavation works to a Grade II listed building which will also be detrimental to the conservation area;
- Dubious planning tactics where an initial, seemingly innocuous application is made in the knowledge that, if granted, a series of further, far more major, applications will be submitted. The Council needs to see through this and reject this further application for such major works to a Grade II listed building and garden studio which will harm our cultural heritage;
- The approved work should not be exceeded as in the past there has been experience of this happening and planning permission being requested retrospectively.

Construction

- There is a moving belt earth mover, which is sometimes in use for five and a half days in the week. It is very noisy and disruptive and is causing distress to the residents living nearby;
- Further suspension of parking bays is not acceptable;
- It is the long term residents who always have to endure the noise, mess and general inconvenience to their lives in a quiet street in a supposedly conservation area, although

what is thought to be conserved is unclear, as it is certainly not the peace and tranquillity of the people who actually live there.

ADVERTISEMENT/SITE NOTICE: Yes.

4. BACKGROUND INFORMATION

4.1 The Application Site

No.84 Clifton Hill is a Grade II listed semi-detached villa within the St John's Wood Conservation Area, in use as a single family dwelling. The building has a large detached former artist's studio in the rear garden used in conjunction with the house.

The studio building appears to date from the post-war period and is not of special architectural interest, although it does have some historic interest as an indicator of the former uses of the houses as the homes of artists for which St John's Wood is renowned. It is not thought the studio was used by any prominent artists. The studio, while not physically attached to the main house, is listed by reason of being a structure within the curtilage of a listed building.

4.2 Relevant History

7.10.2014 – Planning permission and listed building consent granted in respect of alterations to existing garden studio building including excavation of basement below studio to link with the main house and side lightwell. (RN: 14/01890/FULL and 14/01891/LBC).

15.08.2013- Approval of Details of trees, landscaping scheme, omit the rooflight to the basement link and Construction Management Plan pursuant to Conditions 4, 5, 6 and 7 of planning permission dated 13 March 2013 (RN: 12/08339). (13/04216/ADFULL).

13.3.2013 – Planning permission and listed building consent granted in respect of alterations to single family dwellinghouse including; internal alteration to main house, alterations to rear ground floor garden access, internal and external alterations to garden studio, formation of external store at lower ground floor level to front elevation and associated internal and external alterations. Excavation to create new basement link between the main house and studio. (RN: 12/08339/FULL and 12/08340/LBC).

10.7.2012 – Planning permission and listed building consent granted in respect of alterations to single family dwellinghouse including; internal alteration to main house, alterations to rear ground floor garden access, internal and external alterations to garden studio, formation of external store at lower ground floor level to front elevation and associated internal and external alterations. (RN: 12/02223/FULL and 12/00772/LBC).

5. THE PROPOSAL

Planning permission and listed building consent are sought in respect of alterations to the existing garden studio including excavation of a new basement level with associated lightwell, revised footprint and new fenestration and excavation of a staircase under the main building with a glazed bridge. The height of the studio has been reduced by 200mm during the course of this application.

Approval has already been given in March 2013 for the excavation of a basement area under part of the rear garden which links the main house with the studio and subsequently in October 2014 for a much larger basement under the studio to create 41m² of additional floorspace, create a lightwell at the side of the studio building and for external alterations.

These applications are again seeking permission for the basement link to the studio building, the basement underneath the studio building, a lightwell and external alterations. However, further excavation is proposed under the main building to accommodate a larger staircase, an internal glazed bridge, an alteration to the footprint of the studio building and the installation of a green roof to the studio building.

At the time of the site visit, it was evident that excavation works were underway to implement the 2013 permission.

6. DETAILED CONSIDERATIONS

6.1 Land Use

The proposal is considered to accord with Policy H3 of the UDP, which states that extensions to residential properties are acceptable in principle.

6.2 Townscape and Design

Objections have been received from neighbouring residents on grounds that the proposal would cause harm to the listed building and the wider conservation area.

The rear studio building, although listed by virtue of being a curtilage building, is not considered to be of intrinsic interest itself. The building dominates the rear garden and the setting of the main listed building due to its proximity to the house. The removal of the traditionally styled (but modern double glazed) timber windows in the studio are acceptable given it is a post-war structure. The insertion of aluminium windows and doors are not traditional features but given the building's age, and other improvements to its appearance by incorporating a green roof and the reduction in height, these changes are considered acceptable.

As part of this application, the studio would be reduced in width but increased in length to bring it closer to the main house. The reduction in width has created a gap between the studio and the recently constructed lightwell. Such arrangements are not normally encouraged, especially when lightwells are located at the end of a garden. However, it is considered that it may not be so harmful as to warrant a refusal in this instance.

The link to the main house would remain at subterranean level which is considered to be appropriate. The studio would therefore not appear as an extension to the main building as neighbours have stated. The glazed bridge would be inside the main building and is considered to be acceptable.

Despite the objections received, it is not considered that the basement excavation under the studio building, which has previously been approved, will harm the special architectural and historic interest of this listed house.

6.3 Amenity

The external manifestations of the basement would be limited to a lightwell at the end of the garden. This lightwell, in its currently proposed size and location, has previously been approved and it is understood that it has now been constructed. The difference in this case is that the reconfigured footprint of the studio would result in a gap between the lightwell and the studio. The St John's Wood Society has raised concern about potential light pollution, however, it is considered that given the high boundary treatment, the metal grille above the lightwell and the previous permissions, permission could not be reasonably withheld in this instance. It is considered that the proposed basement extension, once built, would have no

significant impact on the amenities of neighbouring properties and would therefore comply with Policy ENV13 of the UDP and Policy S29 of the Westminster City Plan.

The studio building would be reduced in height and would therefore improve the amenities of the occupiers of properties to the rear of the site. Given the existing high boundary treatment, the additional glazing would not cause a material loss of privacy or increased light pollution to neighbouring occupiers. The alterations to the studio also meet the objectives of Policy ENV13 of the UDP and Policy S29 of the Westminster City Plan.

6.4 Highways/Parking Issues

The proposal does not represent an increase in residential units or a loss of parking and as such the proposal is not contrary to Policy TRANS23.

6.5 Equalities and Diversities

Not relevant in the determination of this application.

6.6 Economic Considerations

Not relevant in the determination of this application.

6.7 Other UDP/Westminster Policy Considerations

None relevant.

6.8 London Plan

The proposals do not raise strategic issues and does not have significant implications for the London Plan.

6.9 National Policy/Guidance Considerations

Central Government's National Planning Policy Framework (NPPF) came into effect on 27 March 2012. It sets out the Government's planning policies and how they are expected to be applied. The NPPF has replaced almost all of the Government's existing published planning policy statements/guidance as well as the circulars on planning obligations and strategic planning in London. It is a material consideration in determining planning applications.

Until 27 March 2013, the City Council was able to give full weight to relevant policies in the Core Strategy and London Plan, even if there was a limited degree of conflict with the framework. The City Council is now required to give due weight to relevant policies in existing plans "according to their degree of consistency" with the NPPF. For the UDP, due weight should be given to relevant policies according to their degree of consistency with the NPPF (the closer the policies in the plan to the NPPF, the greater the weight that may be given).

The UDP policies referred to in the consideration of these applications are considered to be consistent with the NPPF unless stated otherwise.

6.10 Planning Obligations

Not relevant in the determination of this application.

6.11 Environmental Assessment including Sustainability and Biodiversity Issues

The proposal is considered to be acceptable with regards to Policy ENV16 of the UDP. The basement link is not located 1.2 metres beneath the ground level as required by the City Council's basement SPD, however, much of the excavation which has previously been approved is already underway.

The St John's Wood Society have requested further soft landscaping instead of hard landscaping. Such a request would normally be supported, however, the current scheme already provides greater soft landscaping than earlier schemes and by reconfiguring the footprint of the outbuilding, increases the amount of useable garden space. They also query how the green roof would be maintained, however, it is considered that there is sufficient space to two sides of the building to provide adequate access for maintenance.

Whilst the lightwell has not been moved since the previous permission, it is recommended that an up-to-date report outlining tree protection measures is sought by condition.

6.12 Other Issues

6.12.1 Basement Excavation

The impact of this type of development is at the heart of concerns expressed by residents across many central London Boroughs, heightened by well publicised accidents occurring during basement constructions. Residents are concerned that the excavation of new basements is a risky construction process with potential harm to adjoining buildings and occupiers. Many also cite potential effects on the water table and the potential increase in the risk of flooding. Such concerns have been raised by neighbouring occupiers who specifically refer to potential subsidence as a result of the works.

Studies have been undertaken which advise that subterranean development in a dense urban environment, especially basements built under existing vulnerable structures is a challenging engineering endeavour and that in particular it carries a potential risk of damage to both the existing and neighbouring structures and infrastructure if the subterranean development is ill-planned, poorly constructed and does not properly consider geology and hydrology.

While the Building Regulations determine whether the detailed design of buildings and their foundations will allow the buildings to be constructed and used safely, the National Planning Policy Framework March 2012 states that the planning system should contribute to and enhance the natural and local environment by preventing both new and existing development from contributing to or being put at unacceptable risk from, or being adversely affected by land instability.

The NPPF goes on to state that in order to prevent unacceptable risks from land instability, planning decisions should ensure that new development is appropriate for its location. It advises that where a site is affected by land stability issues, responsibility for securing a safe development rests with the developer and/or landowner.

The NPPF advises that planning decisions should ensure that a site is suitable for its new use taking account of ground conditions and land instability and any proposals for mitigation, and that adequate site investigation information, prepared by a competent person, is presented.

Officers consider that in the light of the above it would be justifiable to adopt a precautionary approach to these types of development where there is a potential to cause damage to adjoining structures. To address this, the applicant has provided a structural engineer's report explaining the likely methodology of excavation. Any report by a member of the relevant

professional institution carries a duty of care which should be sufficient to demonstrate that the matter has been properly considered at this early stage.

The purpose of such a report at the planning application stage is to demonstrate that a subterranean development can be constructed on the particular site having regard to the site, existing structural conditions and geology. It does not prescribe the engineering techniques that must be used during construction which may need to be altered once the excavation has occurred. The structural integrity of the development during the construction is not controlled through the planning system but through Building Regulations and the Party Wall Act.

Building Control have assessed the reports provided and consider that the proposed construction methodology appears satisfactory. Should permission be granted, these statements will not be approved, nor will conditions be imposed requiring the works to be carried out in accordance with them. The purpose of the reports is to show that there is no foreseeable impediment to the scheme satisfying the Building Regulations in due course. It is considered that this is as far as this matter can reasonably be taken as part of the consideration of the planning application. Detailed matters of engineering techniques, and whether these secure the structural integrity of the development and neighbouring buildings during the course of construction, are controlled through other statutory codes and regulations, cited above. To go further would be to act beyond the bounds of planning control.

The City Council have been preparing guidance and policies to address the need to take into consideration land instability, flood risk and other considerations when dealing with basement applications. Last year the City Council adopted the Supplementary Planning Document 'Basement Development in Westminster' (24 October 2014), which was produced to provide further advice on how current policy can be implemented in relation to basement development - until the formal policy can be adopted. Consultation on a revised formal policy, 'Draft Basements Policy', is currently underway, and will form part of the local plan (replacing the UDP) once adopted.

The basement guidelines and basements policy documents have different status in the planning process. The SPD having now been adopted can be given considerable weight (known as material weight or a material consideration). It is expected that weight will be attached to the draft policy for all applications submitted after 1 November 2015.

6.12.2 Construction Management

A Construction Management Plan (CMP) has been approved in relation to the 2013 permission which has already been implemented and which is very similar to this proposal. It is therefore considered appropriate to require this permission to be carried out in accordance with the approved CMP, unless an alternative plan is approved by the City Council. A further condition is recommended to control the hours of construction works, particularly noisy works of excavation, which whilst it is inevitable that all construction works will have some impact on neighbours, should go some way to addressing the concerns of residents.

6.12.3 Number of Planning Applications

Concerns have been raised by neighbouring occupiers about the way in which the applicant has submitted successive applications, with each one being progressively worse than the last. Whilst it may be the case that each application has proposed more substantial works than the last, it is not within planning control to restrict the number of applications that can be submitted.

6.13 Conclusion

The proposal is considered to be acceptable in both design and amenity terms as well as in respect of its impact on trees in accordance with the relevant policies in the UDP and the City Plan. Both applications are therefore recommended for approval.

BACKGROUND PAPERS

1. Application forms
2. Email from Environment Agency dated 7 July 2015
3. Email from Thames Water dated 7 July 2015
4. Emails from Historic England dated 14 July 2015
5. Email from Building Control dated 9 July 2015
6. Memorandum from the Highways Planning Manager dated 13 July 2015
7. Emails from Historic England dated 14 July 2015
8. Objection from the St John's Wood Society dated 16 July 2015
9. Memorandum from the Arboricultural Manager dated 11 August 2015
10. Objection from the owner/occupier of 82 Clifton Hill dated 17 August 2015
11. Objection from the owner/occupier of 71A Clifton Hill dated 18 August 2015
12. Objection from the owner/occupier of 80 Clifton Hill dated 21 August 2015
13. Objection from the owner/occupier of First Floor, 82 Clifton Hill dated 27 August 2015

IF YOU HAVE ANY QUERIES ABOUT THIS REPORT OR WISH TO INSPECT ANY OF THE BACKGROUND PAPERS PLEASE CONTACT SARAH WHITNALL ON 020 7641 2929 OR BY E-MAIL – swhitnall@westminster.gov.uk

DRAFT DECISION LETTER

Address: 84 Clifton Hill, London, NW8 0JT

Proposal: Alterations to the existing garden studio including excavation of a new basement level with associated lightwell, revised footprint and new fenestration and excavation of a staircase under the main building with a glazed bridge.

Plan Nos: L(-1)100, P133(BE)-210, P133(BE)-210.1, P133(BE)-310, P133(BE)-413, L(-2)300 A, L(-2)301, L(-2)302 A, L(-3)300 A, L(-3)301 A, L(-4)300 A, L(-2)_301 Proposed vs Approved Lower Ground Floor Plan, Design and Access Statement, Historic Building Impact Assessment, Arboricultural Survey, Constraints and Impact Assessment.

Case Officer: Claire Berry

Direct Tel. No. 020 7641 4203

Recommended Condition(s) and Reason(s):

- 1 The development hereby permitted shall be carried out in accordance with the drawings and other documents listed on this decision letter, and any drawings approved subsequently by the City Council as local planning authority pursuant to any conditions on this decision letter.

Reason:

For the avoidance of doubt and in the interests of proper planning.

- 2 Except for basement excavation work, you must carry out any building work which can be heard at the boundary of the site only:

- * between 08.00 and 18.00 Monday to Friday;
- * between 08.00 and 13.00 on Saturday; and
- * not at all on Sundays, bank holidays and public holidays.

You must carry out basement excavation work only:

- * between 08.00 and 18.00 Monday to Friday; and
- * not at all on Saturdays, Sundays, bank holidays and public holidays.

Noisy work must not take place outside these hours. (C11BA)

Reason:

To protect the environment of neighbouring residents. This is as set out in S29 and S32 of Westminster's City Plan: Strategic Policies adopted November 2013 and ENV 6 of our Unitary Development Plan that we adopted in January 2007. (R11AC)

- 3 All new work to the outside of the building must match existing original work in terms of the choice of materials, method of construction and finished appearance. This applies unless differences are shown on the drawings we have approved or are required by conditions to this permission. (C26AA)

Reason:

To make sure that the appearance of the building is suitable and that it contributes to the character and appearance of this part of the St John's Wood Conservation Area. This is as set out in S25 and S28 of Westminster's City Plan: Strategic Policies adopted November 2013 and DES 1 and DES 5 or DES 6 or both and paras 10.108 to 10.128 of our Unitary Development Plan that we adopted in January 2007. (R26BE)

- 4 **Pre Commencement Condition.** You must apply to us for approval of the ways in which you will protect the trees which you are keeping, as shown on drawing nos. tr-1114-14(B) and L(-2)300. You must not start any demolition, site clearance or building work, and you must not take any equipment, machinery or materials for the development onto the site, until we have approved what you have sent us. The tree protection must follow the recommendations in section 7 of British Standard BS5837: 2005. You must then carry out the work according to the approved details. (C31AC)

Reason:

To make sure that the trees on the site are adequately protected during building works. This is as set out in S38 of Westminster's City Plan: Strategic Policies adopted November 2013 and DES 1 (A), ENV 16 and ENV 17 of our Unitary Development Plan that we adopted in January 2007. (R31AC)

- 5 You must carry out the development in accordance with the Construction Management Plan approved on 15.08.2015 under Ref: 13/04216/ADFULL. This is unless an alternative Construction Management Plan is submitted and approved by the City Council.

Reason:

To protect the environment of residents and the area generally as set out in S29 of Westminster's City Plan: Strategic Policies adopted November 2013 and STRA 25, TRANS 23, ENV 5 and ENV 6 of our Unitary Development Plan that we adopted in January 2007.

- 6 You must apply to us for approval of detailed drawings of a hard and soft landscaping scheme which includes the number, size, species and position of trees and shrubs. You must not start work on the relevant part of the development until we have approved what you have sent us. You must then carry out the landscaping and planting within one planting season of completing the development (or within any other time limit we agree to in writing).

If you remove any trees or find that they are dying, severely damaged or diseased within five years of planting them, you must replace them with trees of a similar size and species. (C30CB)

Reason:

To improve the appearance of the development, to make sure that it contributes to the character and appearance of this part of the St John's Wood Conservation Area, and to improve its contribution to biodiversity and the local environment. This is as set out in S25, S28 and S38 of Westminster's City Plan: Strategic Policies adopted November 2013 and ENV 16, ENV 17, DES 1 (A) and paras 10.108 to 10.128 of our Unitary Development Plan that we adopted in January 2007. (R30CD)

- 7 You must not use the roof of the building for sitting out or for any other purpose. You can however use the roof to escape in an emergency. (C21AA)

Reason:

To protect the privacy and environment of people in neighbouring properties. This is as set out in S29 and S32 of Westminster's City Plan: Strategic Policies adopted November 2013 and ENV 6 and ENV 13 of our Unitary Development Plan that we adopted in January 2007. (R21BC)

- 8 You must apply to us for approval of the proposed metal grille to the lightwell. You must not start any work on these parts of the development until we have approved what you have sent us.

You must then carry out the work according to these approved details.

Reason:

To make sure that the appearance of the building is suitable and that it contributes to the character and appearance of this part of the St John's Wood Conservation Area. This is as set out in S25 and S28 of Westminster's City Plan: Strategic Policies adopted November 2013 and DES 1 and DES 5 or DES 6 or both and paras 10.108 to 10.128 of our Unitary Development Plan that we adopted in January 2007. (R26BE)

Informative(s):

- 1 In dealing with this application the City Council has implemented the requirement in the National Planning Policy Framework to work with the applicant in a positive and proactive way. We have made available detailed advice in the form of our statutory policies in Westminster's City Plan: Strategic Policies adopted November 2013, Unitary Development Plan, Supplementary Planning documents, planning briefs and other informal written guidance, as well as offering a full pre application advice service, in order to ensure that applicant has been given every opportunity to submit an application which is likely to be considered favourably. In addition, where appropriate, further guidance was offered to the applicant at the validation stage.

DRAFT DECISION LETTER

Address: 84 Clifton Hill, London, NW8 0JT

Proposal: Alterations to the existing garden studio including excavation of a new basement level with associated lightwell, revised footprint and new fenestration and excavation of a staircase under the main building with a glazed bridge.

Plan Nos: L(-1)100, P133(BE)-210, P133(BE)-210.1, P133(BE)-310, P133(BE)-413, L(-2)300 A, L(-2)301, L(-2)302 A, L(-3)300 A, L(-3)301 A, L(-4)300 A, L(-2)_301 Proposed vs Approved Lower Ground Floor Plan, Design and Access Statement, Historic Building Impact Assessment, Construction Management Plan Statement and Arboricultural Survey, Constraints and Impact Assessment.

Case Officer: Claire Berry **Direct Tel. No.** 020 7641 4203

Recommended Condition(s) and Reason(s):

- 1 The works hereby permitted shall be carried out in accordance with the drawings and other documents listed on this decision letter, and any drawings approved subsequently by the City Council as local planning authority pursuant to any conditions on this decision letter.

Reason:

For the avoidance of doubt and in the interests of proper planning.

- 2 All new work and improvements inside and outside the building must match existing original adjacent work in terms of the choice of materials, method of construction and finished appearance. This applies unless differences are shown on the approved drawings or are required in conditions to this permission. (C27AA)

Reason:

To protect the special architectural or historic interest of this building and to make sure the development contributes to the character and appearance of the St John's Wood Conservation Area. This is as set out in S25 and S28 of Westminster's City Plan: Strategic Policies adopted November 2013 and DES 1 and paras 10.108 to 10.146 of our Unitary Development Plan that we adopted in January 2007. (R27AG)

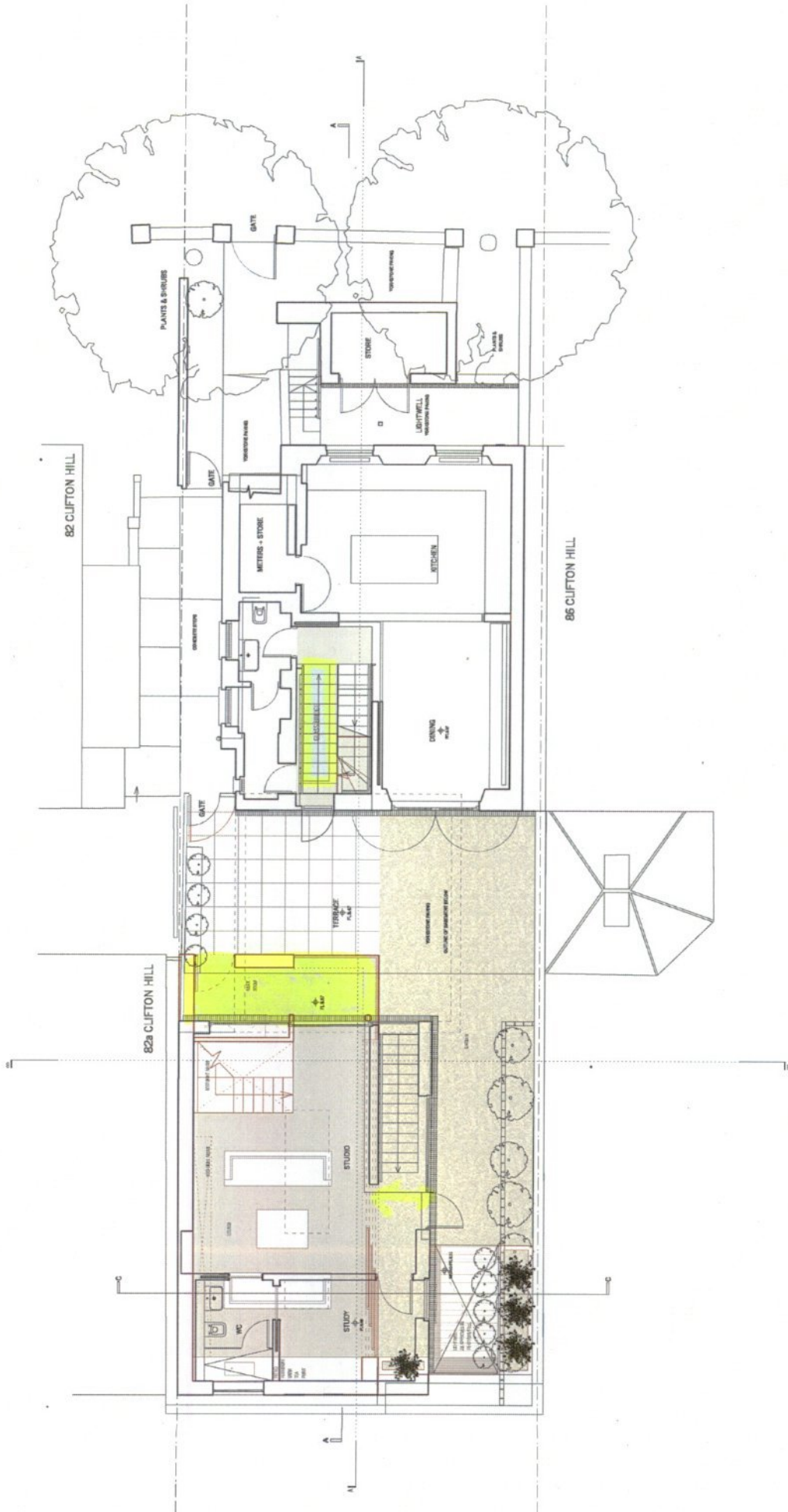
Informative(s):

- 1 SUMMARY OF REASONS FOR GRANTING CONDITIONAL LISTED BUILDING CONSENT - In reaching the decision to grant listed building consent with conditions, the City Council has had regard to the relevant policies in the National Planning Policy Framework March 2012, the London Plan July 2011, Westminster's City Plan: Strategic Policies adopted November 2013, and the City of Westminster Unitary Development Plan adopted January 2007, as well as relevant supplementary planning guidance, representations received and all other material considerations.

The City Council decided that the proposed works would not harm the character of this building of special architectural or historic interest.

In reaching this decision the following were of particular relevance:

S25 and S28 of Westminster's City Plan: Strategic Policies and DES 10 including paras 10.130 to 10.146 of the Unitary Development Plan, and paragraph 2.3-2.4 of our Supplementary Planning Guidance: Repairs and Alterations to Listed Buildings.

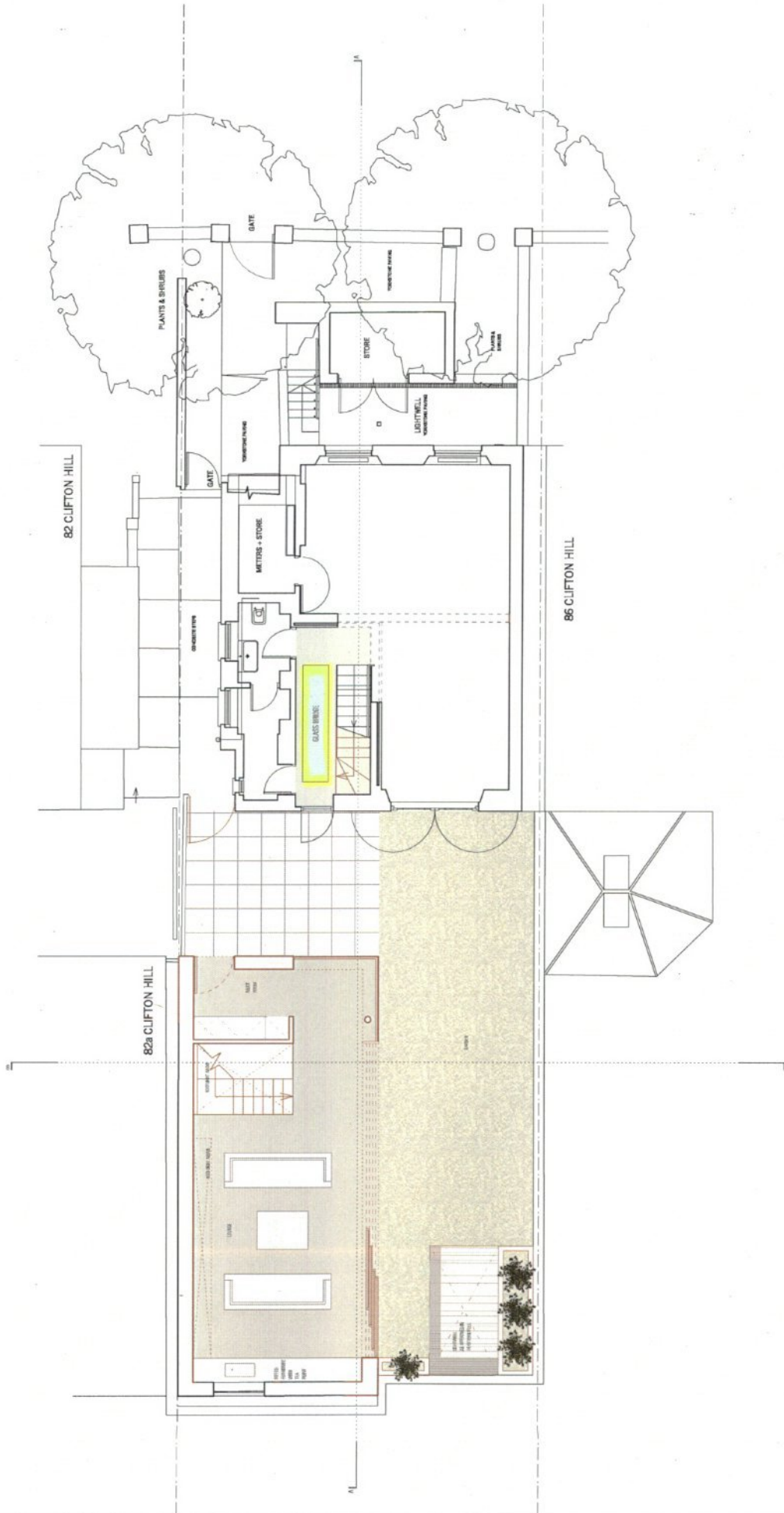


PROPOSED VS. APPROVED LOWER GROUND FLOOR PLAN

Do not scale from this drawing.
 Use only figured dimensions.
 All dimensions to be checked on site.
 Any errors or omissions must be
 reported to the architect.



BY	DATE	SCALE	RF
DRYF, Suland & Rein Mohtu			
TITLE	84 Clifton Hill		
PROJECT	Proposed vs. Approved Lower Ground Floor Plan		
DATE	13/06/2023	PROJECT NO.	13/06/2023
SCALE	1:100	PROJECT NO.	13/06/2023
DATE	13/06/2023	PROJECT NO.	13/06/2023
DATE	13/06/2023	PROJECT NO.	13/06/2023



PROPOSED LOWER GROUND FLOOR PLAN

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 Any errors or omissions must be reported to the architect.

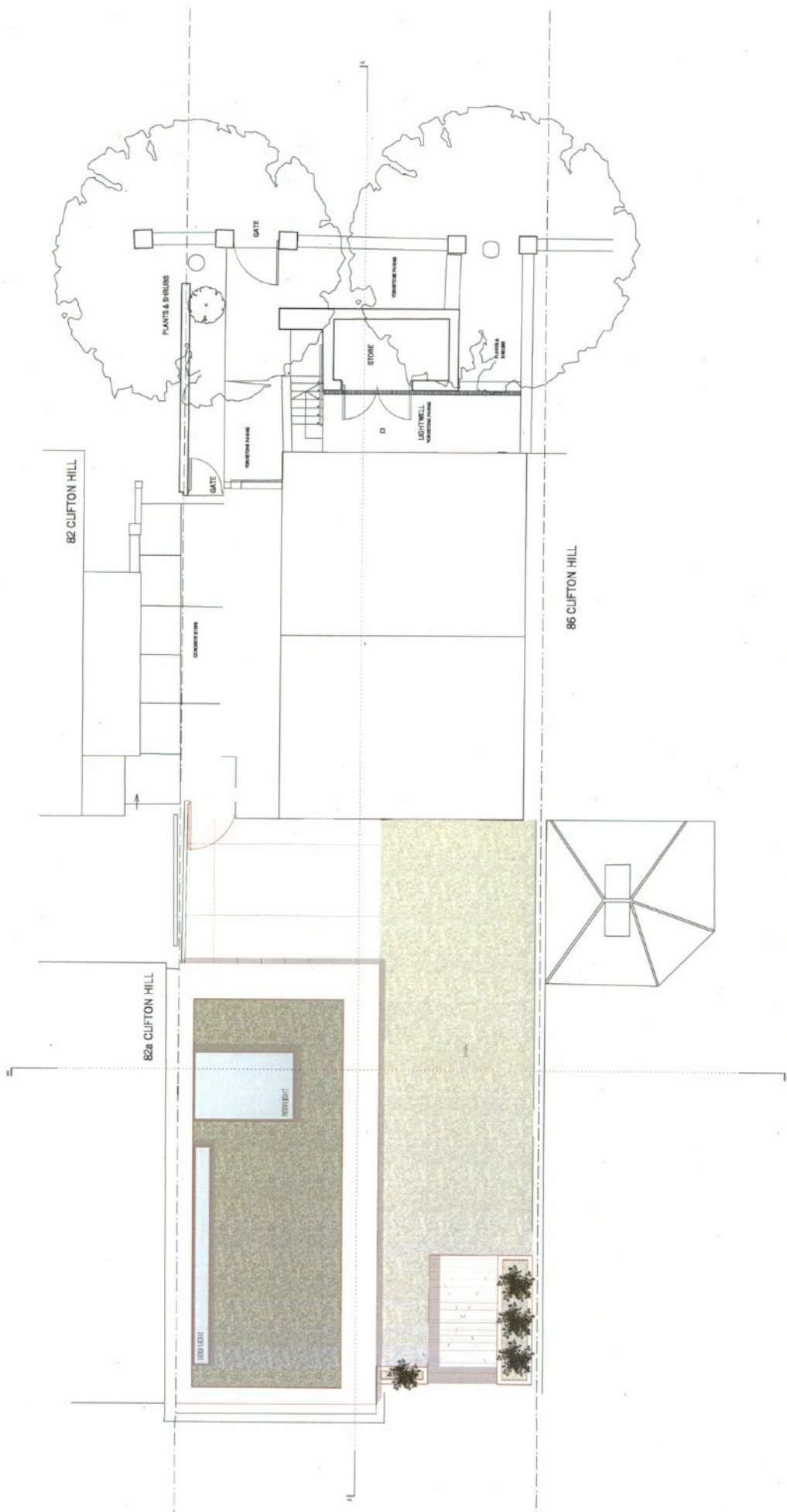


KEY

- dimensions approved scheme
- dimensions in this structure
- dimensions proposed scheme
- Range



A		Add fill over spread		14.03.2015		DF
REV	DATE	BY	CHKD	DATE	BY	DF
01		SAURAD & RITA				
PROJECT				PROPOSED LOWER GROUND FLOOR PLAN		
CLIENT				SARAD & RITA		
ADDRESS				82 CLIFTON HILL		
DRAWN				SAURAD & RITA		
CHECKED				SAURAD & RITA		
DATE				14.03.2015		
SCALE				AS SHOWN		
PROJECT NO.				1471		
DRAWING NO.				1471-01		
PROJECT NAME				PROPOSED LOWER GROUND FLOOR PLAN		
PROJECT ADDRESS				82 CLIFTON HILL		
PROJECT CONTACT				SAURAD & RITA		
PROJECT PHONE				011 431 1234		
PROJECT EMAIL				info@saurad.com		



PROPOSED ROOF PLAN

Do not scale from this drawing.
 Use only figured dimensions.
 All dimensions to be checked on site.
 Any errors or omissions must be reported to the architect.

KEY

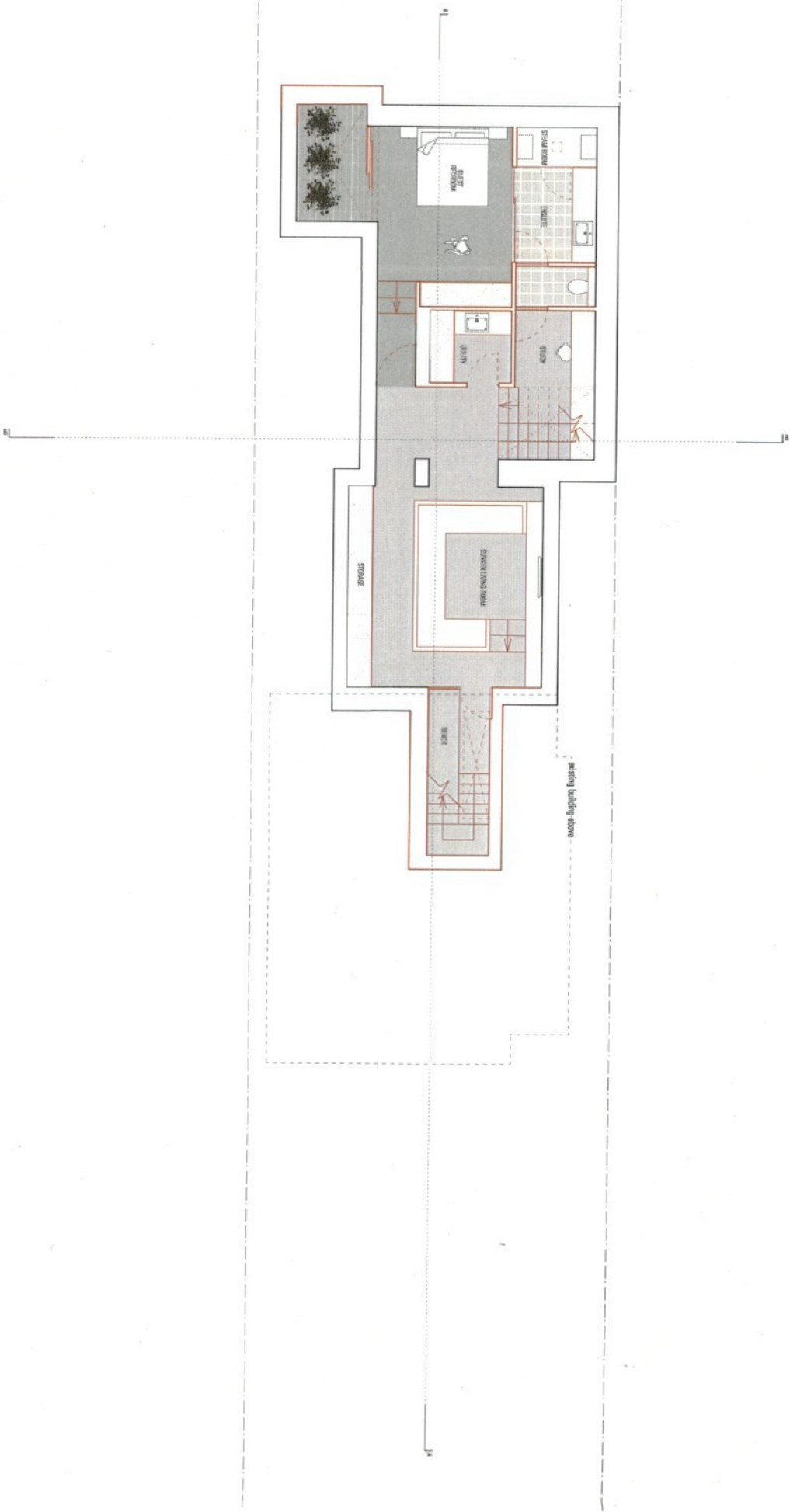
- Section
- Existing
- As built structure
- Proposed
- Eings



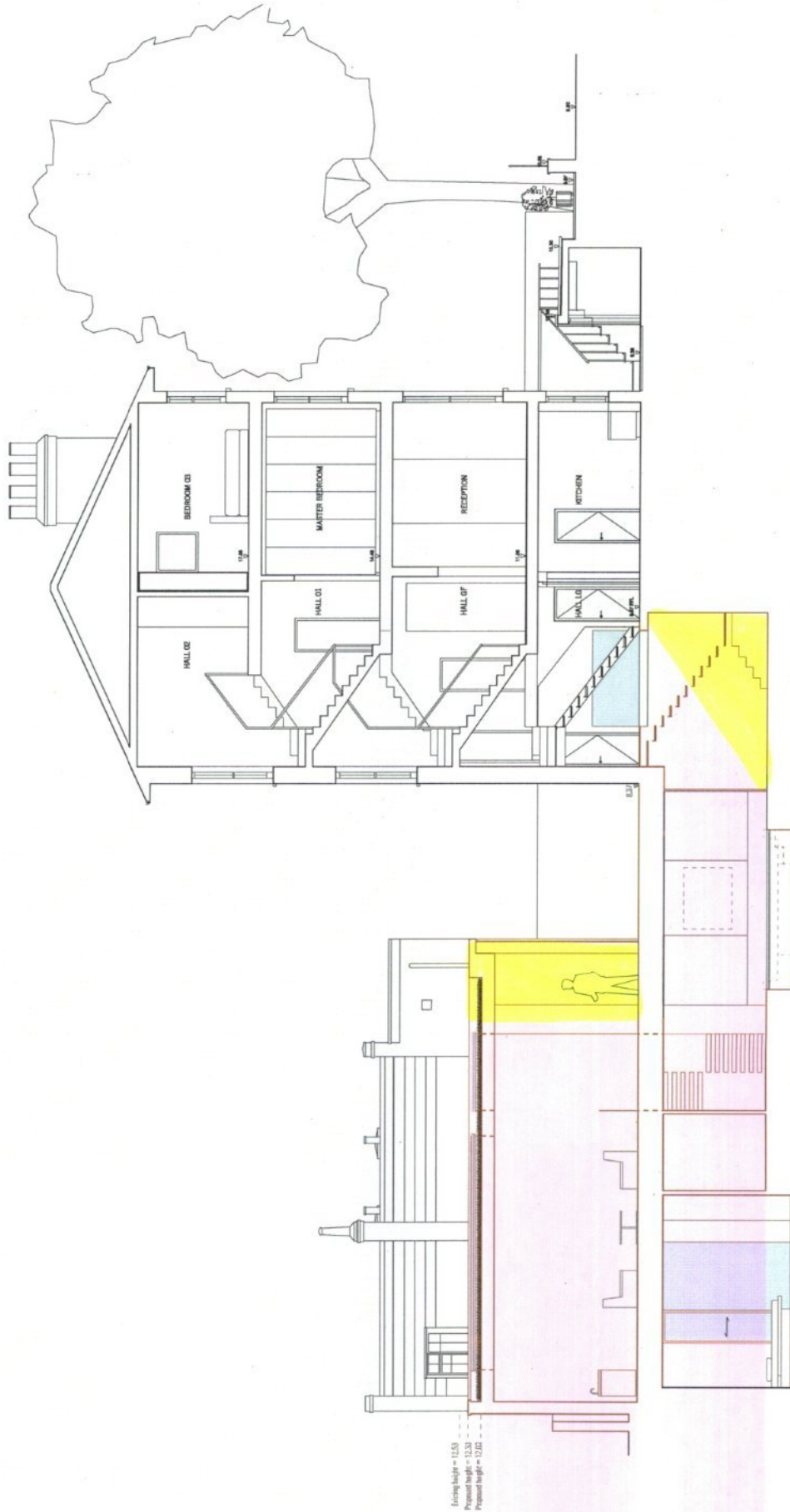
A		Aur gill and gipwood		ACQUISIS LP	
DATE	REV	DATE	REV	DATE	REV
2024	1	2024	1	2024	1
DESIGNER: Shriud & Tito Mehta		PROJECT: 86 Clifton Hill		PROGRAM: [unclear]	
DRAWING NO: Proposed Roof Plan		DATE: May 15, 2024		SCALE: 1/8" = 1'-0"	
PROJECT NO: 1471		DRAWING NO: U-2502		DATE: May 15, 2024	
DESIGNED BY: Planning		CHECKED BY: [unclear]		DATE: [unclear]	
DRAWN BY: [unclear]		DATE: [unclear]		SCALE: [unclear]	

PROPOSED BASEMENT PLAN

Do not scale from this drawing.
 Use only figured dimensions.
 All dimensions to be checked on the
 Any errors or omissions must be
 reported to the architect.



PROJECT	141	DATE	12/2021	SCALE	AS SHOWN	PROJECT	141
CLIENT	Schind & Rios Architects	ARCHITECT	Schind & Rios Architects	DATE	12/2021	PROJECT	141
PROJECT	Proposed Basement Plan	DATE	12/2021	SCALE	AS SHOWN	PROJECT	141
PROJECT	141	DATE	12/2021	SCALE	AS SHOWN	PROJECT	141
PROJECT	141	DATE	12/2021	SCALE	AS SHOWN	PROJECT	141



Existing height = 11.53
 Proposed height = 12.25
 Proposed height = 12.25

PROPOSED SECTION AA

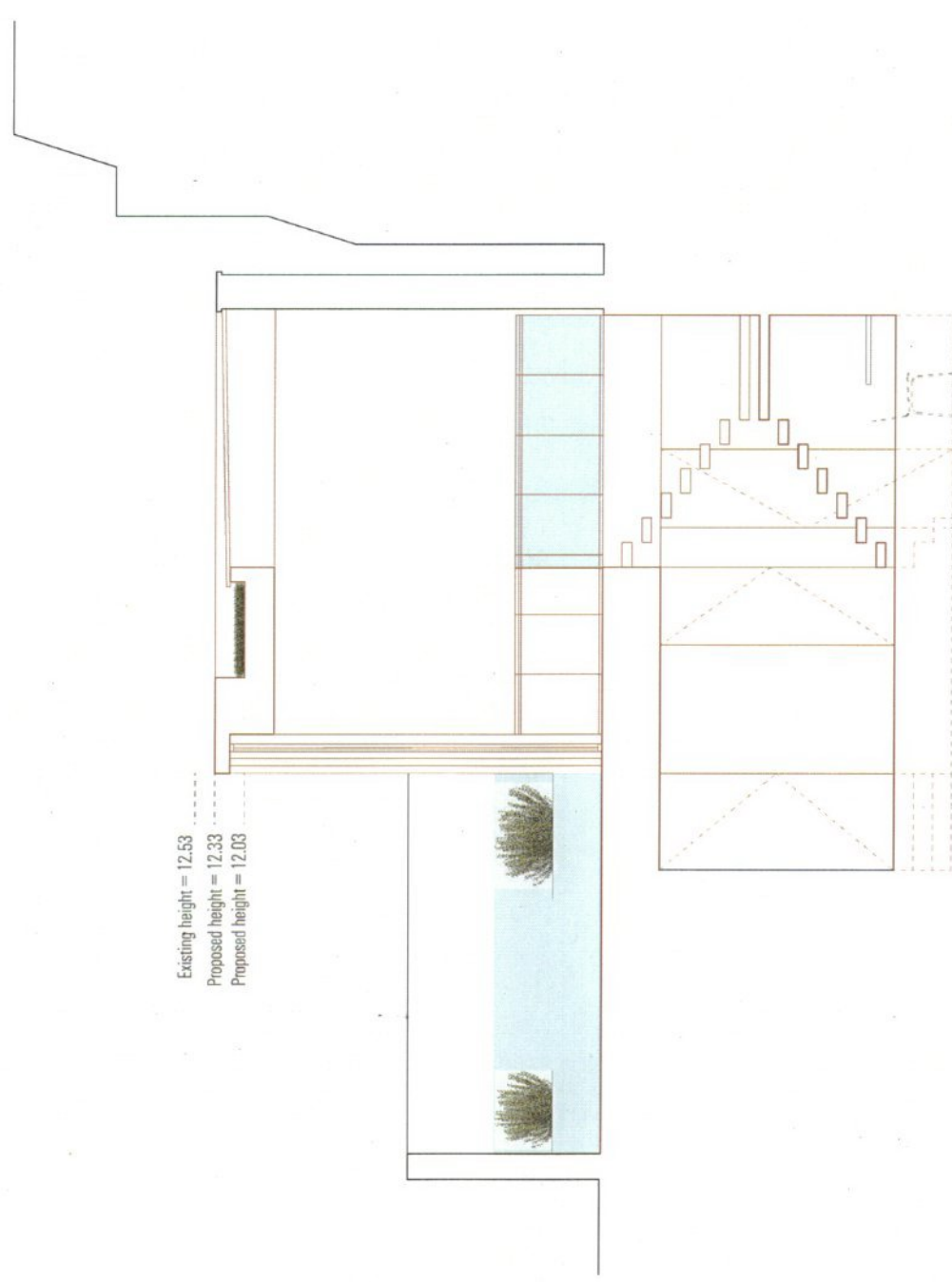
Do not scale from this drawing.
 Use only figured dimensions.
 All dimensions to be checked on site.
 Any errors or omissions must be reported to the architect.

KEY

- structure
- ceiling
- party wall (solid line)
- partition
- fittings



A		Notes: overall length by 200mm		14.03.2015	DF
DATE	BY	DATE	BY	DATE	BY
	DEPT: Sured & Rita Mehta				
	PROJECT: 84 Clifton Hill				
	TITLE: Proposed Section AA				
	PROJECT NO: 170320				
	DATE: 14.03.2015				
	DRAWN BY: DEPT				
	CHECKED BY: DEPT				
	DATE: 14.03.2015				
	PROJECT NO: 170320				
	PROJECT NO: 170320				
	PROJECT NO: 170320				



Existing height = 12.53
 Proposed height = 12.33
 Proposed height = 12.03

PROPOSED SECTION BB

Do not scale from this drawing.
 Use only figured dimensions.
 All dimensions to be checked on site.
 Any errors or omissions must be reported to the architect.

0 100 500 1000

5000 10000

KEY
 --- finished
 - - - existing
 . . . proposed
 --- finish



NO.	A	Revised Section Height	28.03.15	CA
CLIENT	Colin & Rita Melita			
PROJECT	84 Clifton Hill			
TITLE	Proposed Section BB			
DATE	14/03/15	SCALE	1:100	
DRAWN	W. J. J. J.	CHECKED	W. J. J. J.	
DATE	14/03/15	DATE	14/03/15	
PROJECT	84 Clifton Hill	PROJECT	84 Clifton Hill	
CLIENT	Colin & Rita Melita	CLIENT	Colin & Rita Melita	
ARCHITECT	W. J. J. J.	ARCHITECT	W. J. J. J.	
ADDRESS	W. J. J. J.	ADDRESS	W. J. J. J.	
PHONE	W. J. J. J.	PHONE	W. J. J. J.	
FAX	W. J. J. J.	FAX	W. J. J. J.	
EMAIL	W. J. J. J.	EMAIL	W. J. J. J.	
WEBSITE	W. J. J. J.	WEBSITE	W. J. J. J.	